

PB# 92-29

Mayer Associates

47-1-41

Approved 10/2/92

TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, NY 12550

GENERAL RECEIPT

12763

Received of mmmm Consuetants, Inc. \$ 150.00

One Hundred fifty and $\frac{20}{100}$ DOLLARS

For P.B. #92-29 Application Fee

DISTRIBUTION:

FUND	CODE	AMOUNT
<u>CR 1035</u>		<u>150.00</u>

By Pauline M. Townsend
Town Clerk
Title

© WILLIAMSON LAW BOOK CO., VICTOR, N.Y. 14564

TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, NY 12550

GENERAL RECEIPT

12764

Received of Town Clerk \$ 750.00

Seven Hundred fifty and $\frac{20}{100}$ DOLLARS

For P.B. #92-29 Escrow - mmmm Consuetants, Inc.
Mayer Associates

DISTRIBUTION:

FUND	CODE	AMOUNT
<u>CR 1036</u>		<u>750.00</u>

By John
Capitoli
Title

© WILLIAMSON LAW BOOK CO., VICTOR, N.Y. 14564

TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, NY 12550

GENERAL RECEIPT

12883

Received of mmmm Consuetants, Inc. \$ 150.00

One Hundred fifty and $\frac{00}{100}$ DOLLARS

For P.B. #92-29 Approval Fee

DISTRIBUTION:

FUND	CODE	AMOUNT
<u>CR 1046</u>		<u>150.00</u>

By Pauline M. Townsend
Town Clerk
Title

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Planning Board
Town Hall
555 Union Ave.
New Windsor, N.Y. 12551

NO. 92-29
Sept. 22, 1992

CR 1035		150.00

© WILLIAMSON LAW BOOK CO., VICTOR, N.Y. 14564

By Pauline H. Townsend

Town Clerk

Title

TOWN OF NEW WINDSOR 555 Union Avenue New Windsor, NY 12550		GENERAL RECEIPT		12764
		July 15		19 92
Received of <u>Town Clerk</u>		\$ 750.00		
		Seventy Five		00 DOLLARS
For <u>P.B. #92-29 Escrow - mmmm Consultants, Inc.</u>				
DISTRIBUTION: <u>Mayer Associates</u>				
FUND	CODE	AMOUNT		
CR 1036		750.00		
		By <u>John Capullo</u>		
				Title

© WILLIAMSON LAW BOOK CO., VICTOR, N.Y. 14564

TOWN OF NEW WINDSOR 555 Union Avenue New Windsor, NY 12550		GENERAL RECEIPT		12883
		Sept. 16		19 92
Received of <u>mmmm Consultants, Inc.</u>		\$ 150.00		
		One Hundred Fifty and		00 DOLLARS
For <u>P.B. #92-29 Approval Doe</u>				
DISTRIBUTION:				
FUND	CODE	AMOUNT		
CR 1046		150.00		
		By <u>Pauline H. Townsend</u>		
		<u>Town Clerk</u>		Title

© WILLIAMSON LAW BOOK CO., VICTOR, N.Y. 14564

Planning Board
Town Hall
555 Union Ave.
New Windsor, N.Y. 12551

NO. 92-29

Sept. 22, 19 92

RECEIVED FROM mmmm Consultants, Inc.
Six Hundred-Forty 00/100 DOLLARS
4% of \$16,000.00 (bond) inspection fee
Account Total \$ 640.00
Amount Paid \$ 640.00
Balance Due \$ -0-

Maryl Mason
Rec. Insp.

"THE EFFICIENCY LINE" AN AMPAD PRODUCT

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 10/22/92

PAGE: 1

LISTING OF PLANNING BOARD FEES
Escrow

FOR PROJECT NUMBER: 92-29

NAME: MAYER ASSOCIATES

APPLICANT: SCHWARTZ, MIKE

--DATE--	DESCRIPTION-----	TRANS	AMT-CHG	AMT-PAID	BAL-DUE
07/16/92	S.P. MINIMUM	PAID		750.00	
07/22/92	P.B. ATTY.	CHG	35.00		
07/22/92	P.B. MINUTES	CHG	40.50		
10/21/92	P.B. ENGINEER	CHG	83.50		
		TOTAL:	159.00	750.00	-591.00

Please issue a check
in the amount of \$591.00 to:

m m m m Consultants, Inc.
91 Blooming Grove Tpk.
New Windsor, N.Y. 12553



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.

- Main Office
45 Quassaick Ave. (Route 9W)
New Windsor, New York 12553
(914) 562-8640
- Branch Office
400 Broad Street
Millford, Pennsylvania 18337
(717) 296-2765

28 April 1993

MEMORANDUM

TO: Michael Babcock, Town Building Inspector

FROM: Mark J. Edsall, P.E., Planning Board Engineer

SUBJECT: MAYER SITE PLAN
NEW WINDSOR PLANNING BOARD NO. 92-29
FIELD COMPLETION REVIEW - 26 APRIL 1993
MHE JOB NO. 87-56.2

This memorandum shall confirm our field visit to the subject site on the afternoon of 26 April 1993 to determine the status of the completion of the key site plan improvement elements, as shown on the site plan stamped approved by the Planning Board on 10/2/92. The following items should be noted:

1. Striping should be provided for the rear parking area, as depicted on the approved site plan. Striping for the front parking area is also not completed.
2. The handicapped parking space at the west-rear corner of the building requires pavement delineation and the handicapped parking sign. As well, the landscape island to the west of the parking space is incomplete. Striping and signs for the handicapped space at the front of the building is also not complete.
3. The light pole at the south end of the site, near the rear parking area, is not complete.
4. The traffic control signs at the two entrances and along the easterly property line are not installed.
5. Site landscaping is incomplete.

28 April 1993

MEMORANDUM

-2-

6. The paving at the two entrances to the Town road are unacceptable. The condition of these entrances should be improved to meet Town highway standards.

At this time, it is my opinion that a Certificate of Occupancy should not be issued, due to the code related items. As well, I suggest that the safety related items, such as the driveway entrances, be completed prior to the Certificate of Occupancy being issued. With regard to the remainder of the issues, please advise me if these remain incomplete at the next request for a CO, such that a Performance Bond amount can be established, per the normal procedures.

Respectfully submitted,



Mark J. Edsall, P.E.
Planning Board Engineer

MJEmk

cc: James Petro, Planning Board Chairman

A:4-28-4E.mk

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 10/22/92

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE:

STATUS [Open, Withd]
A [Disap, Appr]

FOR PROJECT NUMBER: 92-29

NAME: MAYER ASSOCIATES

APPLICANT: SCHWARTZ, MIKE

--DATE--	MEETING-PURPOSE-----	ACTION-TAKEN-----
10/02/92	PLANS STAMPED	APPROVED
07/22/92	P.B. APPEARANCE	APPROVED
07/14/92	WORK SESSION APPEARANCE	REVISE & SUBMIT
04/14/92	WORK SESSION APPEARANCE	REVISE & RETURN

AS OF: 10/20/92

PAGE: 1

CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-56 NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)

CLIENT: NEWWIN - TOWN OF NEW WINDSOR

TASK: 92- 29

FOR WORK DONE PRIOR TO: 10/20/92

TASK-NO	REC	--DATE--	TRAN	EMPL	ACT DESCRIPTION-----	RATE	HRS.	-----DOLLARS-----			
								TIME	EXP.	BILLED	BALANCE
92-29	50673	04/14/92	TIME	MJE	MC MAYER ASSOC	65.00	0.40	26.00			
92-29	56769	07/14/92	TIME	MJE	MC MAYER	65.00	0.40	26.00			
92-29	57372	07/21/92	TIME	SAS	CL MAYAR - COMMENTS	25.00	1.00	25.00			
92-29	56980	07/22/92	TIME	MJE	MM MAYER COND APPL	65.00	0.10	6.50			
								83.50			
92-29	62489	10/14/92			BILL 92 555						-83.50
											-83.50
					TASK TOTAL			83.50	0.00	-83.50	0.00
					GRAND TOTAL			83.50	0.00	-83.50	0.00



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.

- ☐ Main Office
45 Quassaick Ave. (Route 9W)
New Windsor, New York 12553
(914) 562-8640
- ☐ Branch Office
400 Broad Street
Milford, Pennsylvania 18337
(717) 296-2765

22 September 1992

MEMORANDUM

TO: Myra Mason, Planning Board Secretary

FROM: Mark J. Edsall, P.E., Planning Board Engineer

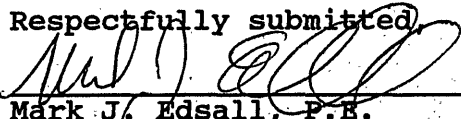
SUBJECT: MAYER ASSOCIATES SITE PLAN
NEW WINDSOR PLANNING BOARD 92-29

Please be advised that I have reviewed the latest plan prepared by Pomarico Design for the subject project, with latest revision date of 9/2/92 (Sheet L2.1). Please be advised that it is my opinion that this site plan package is acceptable for stamp of approval by the Planning Board.

In addition, I have reviewed the site plan bonding estimate dated 27 August 1992, also prepared by Pomarico Design. It is my opinion that this cost estimate is acceptable for the purpose intended.

With regard to the NYSDOT review of this latest plan, please be advised that on 19 September 1992 I had the opportunity to review this application and discuss the latest plan changes with Mr. Donald Greene of the New York State Department of Transportation. Based on our discussion, Mr. Greene indicated (verbally) that the application is acceptable for stamp of approval, with the understanding that a valid NYSDOT Work Permit would be required prior to start of construction.

Respectfully submitted,


Mark J. Edsall, P.E.
Planning Board Engineer

MJEmk

A:9-22-E.mk

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 07/22/92

PAGE: 1

LISTING OF PLANNING BOARD AGENCY APPROVALS

FOR PROJECT NUMBER: 92-29

NAME: MAYER ASSOCIATES

APPLICANT: SCHWARTZ, MIKE

	DATE-SENT	AGENCY-----	DATE-RECD	RESPONSE-----
ORIG	07/16/92	MUNICIPAL HIGHWAY	/ /	
ORIG	07/16/92	MUNICIPAL WATER	07/21/92	APPROVED
ORIG	07/16/92	MUNICIPAL SEWER	/ /	
ORIG	07/16/92	MUNICIPAL SANITARY	/ /	
ORIG	07/16/92	MUNICIPAL FIRE	07/20/92	APPROVED
ORIG	07/16/92	PLANNING BOARD ENGINEER	/ /	

APPLICATION FEE (DUE AT TIME OF SUBMITTAL)

\$ 150.00

PLAN REVIEW FEE: (APPROVAL)

150.00 Pd

PLAN REVIEW FEE (MULTI-FAMILY):
PLUS \$25.00/UNIT

A. \$150.00
B. _____

TOTAL OF A & B: _____

SITE IMPROVEMENT COST ESTIMATE: \$ 16,000.00

A. 4% OF FIRST \$50,000.00
B. 2% OF REMAINDER

A. 640.00
B. _____

TOTAL OF A & B: \$ 640.00

Pd

POMARICO DESIGN STUDIO

August 27, 1992

Mr. Mark J. Edsall, P.E.
Planning Board Engineer
New Windsor Town Hall
555 Union Avenue
New Windsor, NY 12553

Re: Mayer Associates
Site Work Schedule of Value

Project No: 9209.00

Dear Mr. Edsall,

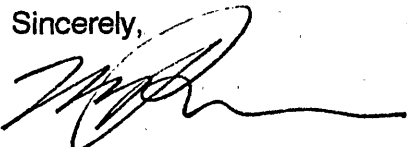
Regarding the Mayer Associates Project.

SITE WORK COSTS

TREE REMOVAL AND CHIPPING	\$420.00
SITE PREPERATION AND BLACKTOPPING	\$13,525.00
SITE LIGHTING	\$1,025.00
LANDSCAPING	\$960.00
<u>SIGNAGE</u>	<u>\$470.00</u>
TOTAL	\$16,400.00

If you have any further questions, please feel free to contact this office.

Sincerely,



Michael A. Pomarico, Architect
POMARICO DESIGN STUDIO



July 22, 1992
REGULAR MEETING

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MAYER ASSOCIATES SITE PLAN • (92-29) BLOOMING GROVE
TURNPIKE (POMARICO)

Mr. Michael Pomarico came before the board representing this proposal.

MR. PETRO: For the board's information, municipal fire had been approved on 7/20/92 and 7/21/92.

MR. VAN LEEUWEN: Can I ask a question? Where is the house?

MR. PETRO: Can you answer that question exactly where is the house.

MR. POMARICO: It's on Blooming Grove Turnpike right at the connection with 94 where the median, there's a triangular median, it's directly across the street from that on the south side.

MR. EDSALL: Last page top left corner there is a good location plan that gives some property owners.

MR. VAN LEEUWEN: This is Mampel's old office?

MR. POMARICO: Yes.

MR. VAN LEEUWEN: That has been an office for a long time.

MR. PETRO: Would you want to proceed?

MR. POMARICO: Basically, it's a pretty simple project, the owner has space that he is occupying in the basement of the office building which was once a house. And it has violations because of the low ceiling height so he's basically building new space which is about the same square footage outside and adjacent to, connected to the building. And he will be moving out of the lower basement space and they'll become unoccupied area so they are not really adding any functions to the building or any new areas, they are just displacing

July 22, 1992

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that space that is in violation and then adding to the parking area in the rear. .

MR. PETRO: You're not changing the footprint at all?

MR. BABCOCK: Yes.

MR. POMARICO: Yes we're adding to the building footprint, we're not adding to the, we're adding to site coverage but we're not really adding to the, if you flip to L3, you'll see the location in the back and the footprint of the existing building so we're basically just taking the basement area and moving it to the back of the building, one story wood frame.

MR. VAN LEEUWEN: Wood frame with brick is going to look the same as the rest of the building itself?

MR. POMARICO: We're going to, well, for economic reasons we're not going to be able to use brick to match the house. We're going to use vinyl siding but the left and right and rear yards are all bounded by heavy high shrubs, you can't really see the adjoining houses that well and we're tying the roof line in on the existing building which has a hip roof. This building will have a hip roof, there will be a little canopy over the doorway and you know it will be of a residential character.

MR. DUBALDI: I didn't hear the answer to his question, how many square feet is it going to be?

MR. POMARICO: How many square feet is the addition? Total building area 3,830 with the new addition on there. The new addition it's 30 by 40, the size of the building is 30 feet by 40 feet.

MR. PETRO: The blacktopping on the site plan, I see a lot of it, what about the remainder? Are you going to blacktop the entire parking area?

MR. POMARICO: The intent right now we'd basically there's the main roads coming in on the left and right side have to be widened to 15 feet so we're going to

July 22, 1992

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remove the soil and put the base in and then pave to the same elevation of the existing road surface and they'll probably seal that and along the same with the back we're going to, you can see I have a dotted line.

MR. PETRO: It's going to match up to the dotted line?

MR. POMARICO: Right, we're going to match the height.

MR. PETRO: It will all be paved? I don't see it.

MR. VAN LEEUWEN: There's some paving in the front and some in the rear.

MR. PETRO: It says on the map I don't see it anywhere on the map.

MR. VAN LEEUWEN: Shows on the map existing pavement. It's been a long time, years ago when Jack Mampel was in there.

MR. POMARICO: Actually they re-paved over that just last year they put a new top coat over it. If you look on L3, there's a dotted line referred to in a couple of locations where it says line of existing.

MR. PETRO: Is that, it just should say paving completely the whole area.

MR. POMARICO: I have detail that is referenced 2L.1 on the paving area. But I can beef that up a little bit, add more notes. That would become pretty obvious to you know when you are out there at the site and you have the plan in front of you and you see what's there existing and what the new areas are.

MR. PETRO: I agree with you except when somebody looks at the plan a year and a half from now and you're called back in because you didn't do a few things and you'll say we didn't have to pave it because nobody told us to.

MR. EDSALL: We'll pick up the quantities of the pavement on the estimated he has to submit as well.

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MR. DUBALDI: I make a motion we take lead agency.

MR. VAN LEEUWEN: I'll second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board take lead agency on the Mayer Site Plan. Any further discussion?

ROLL CALL

MR. VAN LEEUWEN	AYE
MR. SCHIEFER	AYE
MR. DUBALDI	AYE
MR. PETRO	AYE

MR. PETRO: Comment #2, Mark, about the sign, the business sign?

MR. POMARICO: Yes, they have two existing signs that are on the site at this point in time. They have been out there since--

MR. PETRO: They are not going to be changed?

MR. POMARICO: No change because there's no new occupants.

MR. EDSALL: That should satisfy #2, if they are not being touched. If you do do something, it has to go through the building department.

MR. POMARICO: The only signs we're putting are directional vehicle signs.

MR. VAN LEEUWEN: Should we have a public hearing on this?

MR. SCHIEFER: No, I see no reason. I don't know what the rest of the people think.

MR. PETRO: Well, the building is already being used for that purpose. How many additional parking spaces are there over what's already existing?

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MR. POMARICO: There's right now there's total of 21 spaces that are proposed and I believe right now there's around 17 spaces but a couple of those are where people park in areas where they really shouldn't be parking and they don't have a really parking problem at this point in time so with the additional spaces, we'll meet all of the zoning requirements. And I spoke with Dr. Mayer and he feels that they'll have more than ample space for parking.

MR. SCHIEFER: This Mayer is Dr. Mayer?

MR. POMARICO: Yes.

MR. PETRO: Anybody else see any major impact to the area?

MR. VAN LEEUWEN: I don't see any impact but I don't think we should act on it until it comes back from the County Department of Planning and the State because it's right on the state highway.

MR. EDSALL: I think you have to, I think make somewhat of a evaluation if it really needs to go to the State or if you just want to send it off for any comment. Actually the only work they are doing is work to the Town road, it's immediately adjacent to the State road and the only thing they are really doing is widening the driveways per Bob Rogers current recommendations. So they are really not providing any new curb cuts. I've my comment there so you can think about it and you believe.

MR. VAN LEEUWEN: I think it should go to both.

MR. EDSALL: We'll send it for informational and see if they have any comments.

MR. POMARICO: If that would be the only thing preventing me from approval would it be possible to get approval contingent?

MR. PETRO: Let me make a statement here. I'll poll

July 22, 1992

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the board. In my estimation, if we don't need public hearing, we can decide on that and if the two contingencies are Orange County Planning and we can get off a letter to New York State for any comments, if we can make that subject to.

MR. VAN LEEUWEN: Only thing I don't like about the thing they are going to take and put a wooden addition on a brick house, that doesn't look good.

MR. PETRO: It's going to be vinyl siding.

MR. VAN LEEUWEN: You know what the trouble is, you people cut trees down. That is the only objection I have. If it was my place it would have brick.

MR. SCHIEFER: From the front you're not going to see it at all the way that is located there.

MR. PETRO: What's on the two sides? There must be other homes? Looks like the west and east side or northeast.

MR. POMARICO: On the east side actually on the east side, the gentleman who lives on the east side has built a like ten foot high by maybe 12 foot wide, I'm not actually sure what it is, backboard for some kind of gaming court. I'm not sure actually what it is but it's actually it's like billboard sitting there on the property line on the back line just big, heavy, dense shrubs and on the other west side is very heavy growth.

MR. BABCOCK: Just for your information, right now I'm sure that these people would like to keep their facility exactly like it is. The Town of New Windsor are telling them they cannot use this basement anymore of this building. This is the purpose of this addition.

MR. VAN LEEUWEN: What are they doing in the basement?

MR. BABCOCK: There are offices there.

MR. VAN LEEUWEN: They have offices in the basement?

July 22, 1992

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MR. BABCOCK: Yes, they are going to move their on personal offices out of the basement and put them in this addition because we're telling them they have to.

MR. VAN LEEUWEN: You're telling them they have to?

MR. BABCOCK: yes, we're telling them they have to vacate the basement.

MR. PETRO: Two minute recess.

(Discussion was held off the record)
(Andrew Krieger entered the room.)

MR. PETRO: Meeting is open again. I'd like to have a motion on the public hearing one way or the other.

MR. SCHIEFER: I make a motion we do not have a public hearing.

MR. VAN LEEUWEN: I'll second it.

MR. PETRO: Motion has been made and seconded we do not have a public hearing for the Mayer Site Plan. Any further discussion?

MR. VAN LEEUWEN: It's only an addition so I don't think it's necessary.

ROLL CALL

MR. VAN LEEUWEN	AYE
MR. SCHIEFER	AYE
MR. DUBALDI	AYE
MR. PETRO	AYE

MR. PETRO: This has to go to Orange County Planning.

MR. DUBALDI: I make a motion we declare a negative dec.

MR. VAN LEEUWEN: I'll second it.

July 22, 1992

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MR. PETRO: Motion has been made and seconded to declare negative dec on the Mayer Site Plan. Any other discussion from the board members?

ROLL CALL

MR. VAN LEEUWEN	AYE
MR. SCHIEFER	AYE
MR. DUBALDI	@YE
MR. PETRO	AYE

MR. PETRO: Letter will be sent to the New York State DOT for any comments but I don't think that should hold up the applicant.

MR. SCHIEFER: I make a motion we approve the Mayer Associates Site Plan subject to notification of the Orange County Planning and the letter to the State DOT.

MR. VAN LEEUWEN: I'll second that.

MR. PETRO: Motion has been made to approve Mayer Associates Site Plan subject to Orange County Planning notification and letter off to New York State DOT. Any other discussion from the board members?

ROLL CALL

MR. VAN LEEUWEN	AYE
MR. SCHIEFER	AYE
MR. DUBALDI	AYE
MR. PETRO	AYE

MR. EDSALL: Just something for the record, this particular application was a good example of how the work session process works because he was in several times, Mr. Pomarico, and every request that we made to provide additional information so that the plan was complete and complying and met the requirements of the different departments was accomplished and that is why the comment sheet is so short tonight. So it's a good example, it was something that worked right so we figure we'd get something in the record.

July 22, 1992

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MR. POMARICO: I want to compliment you on the process.

MR. BABCOCK: One thing you might want to add for the applicant I think you mentioned that you want a note on the plan in reference to the entire parking lot being blacktopped.

MR. PETRO: That is correct.

MR. EDSALL: Prior to the plan being stamped, one of the requirements is submit a cost estimate for the on-site improvements. That estimate is purely so that if anything is not completed when you ask for the C.O. we can have security posted to make sure that it gets completed.

MR. POMARICO: We're preparing the estimate right now.

MR. PETRO: I see on L2.1 the design that you have does show part of the blacktop but that can be confusing. Just state on L3.1 exactly where the blacktop, the outline it and show it.

TOWN OF NEW WINDSOR
TOWN HALL, 555 UNION AVENUE
NEW WINDSOR, NEW YORK 12550

TO Frances Roth 389. Moores Hill Rd DR.
New Windsor NY 12553

DATE				CLAIMED		ALLOWED	
7/23/92		Planning Board		75	00		
		Misc - 2	9.00				
		Silver Stream - 1	4.50				
		Mt Airy - 1	4.50				
		Mayer - 9	40.50				
		Washington Green - 12	54.00				
		Quasnick Fire - 3	13.50	126	00		
				201	00		

mmmm CONSULTANTS, INC.

91 BLOOMING GROVE TPKE.

NEW WINDSOR, NY 12553

561-1505

1036

29-7003/2213
24

PAY
TO THE
ORDER OF

Town of New Windsor

\$ 750.00

Seven Hundred Fifty and no/100

DOLLARS



albanysavingsbank

Route 32 and Old Temple Hill Road

Vails Gate, New York 12584

FOR

ESCROW

[Signature]

⑈001036⑈ ⑆221370030⑆ 24 00001265⑈010158

P.B. # 92-29 APPLICATION FEE

mmmm CONSULTANTS, INC.

91 BLOOMING GROVE TPKE.

NEW WINDSOR, NY 12553

561-1505

1035

29-7003/2213
24

PAY
TO THE
ORDER OF

Town of New Windsor

\$ 150.00

One Hundred Fifty and no/100

DOLLARS



albanysavingsbank

Route 32 and Old Temple Hill Road

Vails Gate, New York 12584

FOR

APPLICATION FEE

[Signature]

⑈001035⑈ ⑆221370030⑆ 24 00001265⑈010158

P.B. # 92-29

NAME Mayer Associates

FOR: S.P. Minimum \$750.00

TOTAL DEPOSIT: 750.00

AMOUNT OF CHECK: \$750.00

TOWN CLERK

P.B. # 92-29

NAME: Mayer Assoc.

FOR: S.P. Minimum \$750.00

TOTAL DEPOSIT: \$750.00

AMOUNT OF CHECK: \$750.00

COMPTROLLER

NEW YORK STATE DEPARTMENT OF TRANSPORTATION
EAST ORANGE AND ROCKLAND OFFICE
PERMIT INSPECTION
112 DICKSON STREET
NEWBURGH, NEW YORK 12550
Telephone (914) 562-4094

Albert J. Bauman
Regional Director

Franklin E. White
Commissioner

September 21, 1992

Planning & Zoning Board
Town of NEW WINDSOR
55 Union Ave.
New Windsor, N.Y. 12553

Re: Dr. Office
Bloomingburh Turnpike

Dear Chairperson;

We have reviewed this matter and please find our comments checked below.

_____ A highway work permit will be required. Please ask Building Department not to issue building permit without proof of State Highway Work Permit.

__XX__ No objection.

_____ Need additional information; Traffic study _____, and or Drainage study _____.

_____ To be reviewed by Regional Office.

_____ Does not effect New York State Department of Transportation.

PLEASE NOTE: Entrance must conform to state highway work permit.

ADDITIONAL COMMENTS:

Yours truly,

Donald Greene
C.E.I Permits
East Orange and Rockland Counties.



MARY McPHILLIPS
County Executive

Department of Planning
& Development

124 Main Street
Goshen, New York 10924
(914) 294-5151

PETER GARRISON Commissioner
VINCENT HAMMOND Deputy Commissioner

ORANGE COUNTY DEPARTMENT OF PLANNING & DEVELOPMENT
239 L, M or N Report

This proposed action is being reviewed as an aid in coordinating such action between and among governmental agencies by bringing pertinent inter-community and Countywide considerations to the attention of the municipal agency having jurisdiction.

Referred by Town of New Windsor D P & D Reference No. NWT 22 92 M
County I.D. No. 47 / 1 / 41

Applicant Mayer Associates, Inc.

Proposed Action: Site plan review - increase office & parking space

State, County, Inter-Municipal Basis for 239 Review within 500' of NYS Rte #94

Comments: There are no significant Inter-community or Countywide concerns to bring to your attention.

Related Reviews and Permits _____

County Action: Local Determination XX Disapproved _____ Approved _____

Approved subject to the following modifications and/or conditions: _____

August 14, 1992
Date

CC: M.E.

Vincent Hammond

ORANGE COUNTY DEPARTMENT OF PLANNING
APPLICATION FOR MANDATORY COUNTY REVIEW
OF LOCAL PLANNING ACTION

(Variances, Zone Changes, Special Permits, Subdivisions, Site Plans)

Local File No. 92-29

1. Municipality TOWN OF NEW WINDSOR Public Hearing Date _____

☐ City, Town or Village Board ☒ Planning Board ☐ Zoning Board

2. Owner: Name Mayer Associates, Inc.

Address 91 Blooming Grove Tpk. - New Windsor

3. Applicant*: Name _____

Address _____

* If Applicant is owner, leave blank

4. Location of Site: Blooming Grove Tpk. + Rt. 94
(street or highway, plus nearest intersection)

Tax Map Identification: Section 47 Block 1 Lot 41

Present Zoning District NC Size of Parcel .760

5. Type of Review: _____

Special Permit: _____

Variance: Use _____

Area _____

Zone Change: From _____ To _____

Zoning Amendment: To Section _____

Subdivision: Number of Lots/Units _____

Site Plan: Use Increase Office + Parking Space

7/23/92

Date

Mary Mason, Secy for the P.B.
Signature and Title



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.

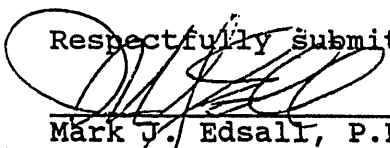
- ☐ Main Office
45 Quassaick Ave. (Route 9W)
New Windsor, New York 12553
(914) 562-8640
- ☐ Branch Office
400 Broad Street
Millford, Pennsylvania 18337
(717) 296-2765

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: MAYER ASSOCIATES SITE PLAN
PROJECT LOCATION: 91 BLOOMING GROVE TURNPIKE
PROJECT NUMBER: 92-29
DATE: 22 JULY 1992
DESCRIPTION: THE APPLICATION INVOLVES THE CONVERSION OF THE
EXISTING BUILDING TO A PROPOSED (COMBINATION)
BUSINESS OFFICE AND DOCTOR'S OFFICE. THE PLAN WAS
REVIEWED ON A CONCEPT BASIS.

1. The Applicant has responded to all previous engineering comments outlined at the technical work session. The plans, as currently submitted, reflect all requested additions and corrections.
2. The Plan does not include, at this time, a detail for the proposed business sign. This is not a problem; however, the Applicant should realize that a Building Permit will be necessary from the Town Building Inspector for the construction of the sign, once the dimension and content are known.
3. The Planning Board may wish to assume the position of Lead Agency under the SEQRA process.
4. The Planning Board should determine, for the record, if a Public Hearing will be necessary for this Site Plan, per its discretionary judgement under Paragraph 48-19.C of the Town Zoning Law.
5. Submittal of this plan/application to the New York State Department of Transportation and Orange County Planning Department should be made.
6. At such time that the Planning Board has made further review of this application, further engineering reviews and comments will be made, as deemed necessary by the Board.

Respectfully Submitted,


Mark J. Edsall, P.E.
Planning Board Engineer
MJEss
A:mayer.ss

7-21-92

JUL 16 1992

92-29

BUILDING INSPECTOR, PLANNING BOARD ENGINEER, FIRE INSPECTOR, SANITARY INSP.
D.O.T., O.C.H., O.C.P., D.P.W., ~~WATER~~ SEWER, HIGHWAY, REVIEW
FORM:

The maps and plans for the Site Approval _____
subdivision _____ as submitted by
Mayer Assoc. for the building or subdivision of
Pomavica Const. Corp. has been
reviewed by me and is approved ☒
~~disapproved~~ _____

~~If disapproved, please list reason~~

Notify water dept. for any information
on water lines in area-

HIGHWAY SUPERINTENDENT

Stan D. Dru
WATER SUPERINTENDENT

SANITARY SUPERINTENDENT

DATE

INTER OFFICE CORRESPONDENCE

TO: Town Planning Board

FROM: Town Fire Inspector

DATE: 20 July 1992

SUBJECT: Mayer Associates Site Plan

PLANNING BOARD REFERENCE NUMBER: PB-92-29

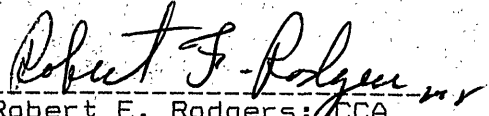
DATED: 16 July 1992

FIRE PREVENTION REFERENCE NUMBER: FPS-92-040

A review of the above referenced subject site plan was conducted on 20 July 1992.

This site plan is acceptable.

PLANS DATED: 14 July 1992; Revision 1.


Robert F. Rodgers; CCA
Fire Inspector

RFR:mr
Att.



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.

MAYER

- ☐ Main Office
45 Quassaick Ave. (Route 9W)
New Windsor, New York 12553
(914) 562-8640
- ☐ Branch Office
400 Broad Street
Milford, Pennsylvania 18337
(717) 296-2765

PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

TOWN/VILLAGE OF

New Windsor

P/B # 92-29

WORK SESSION DATE:

14 July 1992

APPLICANT RESUB.
REQUIRED:

Full

REAPPEARANCE AT W/S REQUESTED:

No

PROJECT NAME:

MAYER

PROJECT STATUS:

NEW

✓

OLD

REPRESENTATIVE PRESENT:

Mike Pomarico

MUNIC REPS PRESENT: BLDG INSP.

X

FIRE INSP.

Rich

ENGINEER

X

PLANNER

P/B CHMN.

OTHER (Specify)

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

Combination of District A15 + Detail Bur Office

#91 B.G.T.

* zoning note (L.I.I) Revise #2 ref A9 A15

bulk title Required PAR 100%

Building Area - show use info

Parking, Calc 450/dw + 1/2 exam room + 1/200 office

Approval boxes; traffic signs;

Or detail; 15' wide drive

clearer delineation of edge of print

MIN ESCROW \$750

4MJ91 pbwsform



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.

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PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

TOWN/VILLAGE OF

NEW WINDSOR

P/B # 92-29

WORK SESSION DATE:

14 April 1992

APPLICANT RESUB.
REQUIRED: —

REAPPEARANCE AT W/S REQUESTED:

Yes

PROJECT NAME: _____

PROJECT STATUS: NEW _____ OLD _____

REPRESENTATIVE PRESENT:

Mile Pomarico

*Pom Design Studio
162 Montgomery St.
Albany*

MUNIC REPS PRESENT: BLDG INSP. _____

FIRE INSP. _____

ENGINEER _____

PLANNER _____

P/B CHMN. _____

OTHER (Specify) _____

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

91 BGT.

Mayer Assoc. (exist doctor office)

NE A-15

WHICH USE HAS APPROVAL?

account for all use & areas → pkg calc

need ruling - adj. prop owner

bulle table -

*Prelim
disc*

*also
print
shop!*

Planning Board
Town of New Windsor
555 Union Avenue
New Windsor, NY 12550

(This is a two-sided form)

Date Received _____
Meeting Date _____
Public Hearing _____
Action Date _____
Fees Paid _____

APPLICATION FOR SITE PLAN, SUBDIVISION PLAN,
OR LOT LINE CHANGE APPROVAL

1. Name of Project MAYER ASSOCIATES
2. Name of Applicant MIKE SCHWARTZ Phone 561-1505
Address 91 BLOOMING GROVE TPK. NEW WINDSOR, NY 12553
(Street No. & Name) (Post Office) (State) (Zip)
3. Owner of Record MAYER ASSOC, INC. Phone 561-1505
Address 91 BLOOMING GROVE TPK. NEW WINDSOR, NY 12553
(Street No. & Name) (Post Office) (State) (Zip)
4. Person Preparing Plan MICHAEL A. POMARICO ARCHITECT Phone 565-8468
Address 162 MONTGOMERY ST. NEW BURG, NY 12550
(Street No. & Name) (Post Office) (State) (Zip)
5. Attorney MICHAEL O. GITTELSON Phone 562-0203
Address ROBINSON AVE. NEW BURG, NY 12550
(Street No. & Name) (Post Office) (State) (Zip)
6. Person to be notified to represent applicant at Planning Board Meeting MICHAEL POMARICO Phone 565-8468
(Name)
7. Location: On the SOUTH side of BLOOMING GROVE TPK.
+/- 50 feet EAST
(Street)
of RT. 94
(Direction)
(Street)
8. Acreage of Parcel .76 9. Zoning District NC
10. Tax Map Designation: Section 47 Block 1 Lot 41
11. This application is for SITE PLAN APPROVAL

SHARLENE SMALLIN, LATINA
Residing in Orange County
New York

12. Has the Zoning Board of Appeals granted any variance or a Special Permit concerning this property? NO

If so, list Case No. and Name _____

13. List all contiguous holdings in the same ownership
Section _____ Block _____ Lot(s) _____

Attached hereto is an affidavit of ownership indicating the dates the respective holdings of land were acquired, together with the liber and page of each conveyance into the present owner as recorded in the Orange County Clerk's Office. This affidavit shall indicate the legal owner of the property, the contract owner of the property and the date the contract of sale was executed.

IN THE EVENT OF CORPORATE OWNERSHIP: A list of all directors, officers and stockholders of each corporation owning more than five percent (5%) of any class of stock must be attached.

OWNER'S ENDORSEMENT
(Completion required ONLY if applicable)

COUNTY OF ORANGE

SS.:

STATE OF NEW YORK

PAUL MAYER. being duly sworn, deposes and says that he resides at 10 DOGWOOD LANE, NEW BURGHI, NY 12550 in the County of ORANGE and State of NEW YORK and that he is (the owner in fee) of MAYER ASSOC. INC.
(Official Title)

of the Corporation which is the Owner in fee of the premises described in the foregoing application and that he has authorized MICHAEL A. ROMARICO, ARCHITECT to make the foregoing application for Special Use Approval as described herein.

I HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS AND INFORMATION, AND ALL STATEMENTS AND INFORMATION CONTAINED IN THE SUPPORTING DOCUMENTS AND DRAWINGS ATTACHED HERETO ARE TRUE.

Sworn before me this

15th day of July 1982

Chick D. Wells
Notary Public

ANTA J. WILLIAMS FLEMING
Notary Public, State of New York
No. 4685583
Residing in Orange County 8/31/93
Commission Expires

Paul Mayer
(Owner's Signature)

Paul Mayer
(Applicant's Signature)

Chief Executive Officer
(Title)

PROJECT I.D. NUMBER

617.21


SEQR

Appendix C

State Environmental Quality Review

SHORT ENVIRONMENTAL ASSESSMENT FORM
For UNLISTED ACTIONS Only

PART I—PROJECT INFORMATION (To be completed by Applicant or Project sponsor)

1. APPLICANT /SPONSOR MAYER ASSOCIATES/MICHAEL PIMARICO, ARCH MAYER ASSOCIATES		2. PROJECT NAME	
3. PROJECT LOCATION: Municipality TOWN OF NEW WINDSOR County ORANGE			
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) 91 BLOOMING GROVE TPK. NEW WINDSOR, NY 12553			
5. IS PROPOSED ACTION: <input type="checkbox"/> New <input checked="" type="checkbox"/> Expansion <input type="checkbox"/> Modification/alteration			
6. DESCRIBE PROJECT BRIEFLY: ADDITION OF 1,390 SQ. FT. OFFICE SPACE AND INCREASE TO PARKING AREA OF EXISTING PROF OFFICE BUILDING.			
7. AMOUNT OF LAND AFFECTED: Initially .76 acres Ultimately .76 acres			
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe briefly			
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input type="checkbox"/> Residential <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open space <input checked="" type="checkbox"/> Other Describe: NEIGHBORHOOD COMMERCIAL			
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency(s) and permit/approvals			
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency name and permit/approval			
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE			
Applicant/sponsor name: MICHAEL A. PIMARICO, ARCHITECT		Date: 7/14/92	
Signature: 			

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment

OVER

PART II—ENVIRONMENTAL ASSESSMENT (To be completed by Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.12? If yes, coordinate the review process and use the FULL EAF.	
<input type="checkbox"/> Yes <input type="checkbox"/> No	
B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If No, a negative declaration may be superseded by another involved agency.	
<input type="checkbox"/> Yes <input type="checkbox"/> No	
C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)	
C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:	
C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:	
C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:	
C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:	
C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly:	
C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly:	
C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly:	
D. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?	
<input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, explain briefly	

PART III—DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed.

☐ Check this box if you have identified one or more potentially large or significant adverse impacts which **MAY** occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.

☐ Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action **WILL NOT** result in any significant adverse environmental impacts **AND** provide on attachments as necessary, the reasons supporting this determination:

Name of Lead Agency

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from responsible officer)

Date

PROXY STATEMENT

for submittal to the

TOWN OF NEW WINDSOR PLANNING BOARD

Mayer Associates, Inc., deposes and says that he
resides at 91 Blooming Grove Tpk. NW NY 12553
(Owner's Address)
in the County of Orange
and State of NY
and that he is the owner in fee of 91 Blooming Grove Tpk
NW NY 12553
which is the premises described in the foregoing application and
that he has authorized Michael A. Pomavico Architect
to make the foregoing application as described therein.

Date: 7/15/92Paul J. Mayer
(Owner's Signature)David Wiseman
(Witness' Signature)

THIS FORM CANNOT BE WITNESSED BY THE PERSON OR REPRESENTATIVE OF
THE COMPANY WHO IS BEING AUTHORIZED TO REPRESENT THE APPLICANT
AND/OR OWNER AT THE MEETINGS.

TOWN OF NEW WINDSOR PLANNING BOARD
SITE PLAN CHECKLIST

ITEM

- | | |
|---|--|
| 1. <input checked="" type="checkbox"/> Site Plan Title | 29. <input checked="" type="checkbox"/> Curbing Locations |
| 2. <input checked="" type="checkbox"/> Applicant's Name(s) | 30. <input checked="" type="checkbox"/> Curbing Through |
| 3. <input checked="" type="checkbox"/> Applicant's Address(es) | Section |
| 4. <input checked="" type="checkbox"/> Site Plan Preparer's Name | 31. <input checked="" type="checkbox"/> Catch Basin Locations |
| 5. <input checked="" type="checkbox"/> Site Plan Preparer's Address | 32. <input checked="" type="checkbox"/> Catch Basin Through |
| 6. <input checked="" type="checkbox"/> Drawing Date | Section |
| 7. <input checked="" type="checkbox"/> Revision Dates | 33. <input checked="" type="checkbox"/> Storm Drainage |
| 8. <input checked="" type="checkbox"/> AREA MAP INSET | 34. <input checked="" type="checkbox"/> Refuse Storage |
| 9. <input checked="" type="checkbox"/> Site Designation | 35. <input checked="" type="checkbox"/> Other Outdoor Storage |
| 10. <input checked="" type="checkbox"/> Properties Within 500 Feet | 36. <input checked="" type="checkbox"/> Water Supply |
| of Site | 37. <input checked="" type="checkbox"/> Sanitary Disposal Sys. |
| 11. <input checked="" type="checkbox"/> Property Owners (Item #10) | 38. <input checked="" type="checkbox"/> Fire Hydrants |
| 12. <input checked="" type="checkbox"/> PLOT PLAN | 39. <input checked="" type="checkbox"/> Building Locations |
| 13. <input checked="" type="checkbox"/> Scale (1" = 50' or lesser) | 40. <input checked="" type="checkbox"/> Building Setbacks |
| 14. <input checked="" type="checkbox"/> Metes and Bounds | 41. <input checked="" type="checkbox"/> Front Building |
| 15. <input checked="" type="checkbox"/> Zoning Designation | Elevations |
| 16. <input checked="" type="checkbox"/> North Arrow | 42. <input checked="" type="checkbox"/> Divisions of Occupancy |
| 17. <input checked="" type="checkbox"/> Abutting Property Owners | 43. <input checked="" type="checkbox"/> Sign Details |
| 18. <input checked="" type="checkbox"/> Existing Building Locations | 44. <input checked="" type="checkbox"/> BULK TABLE INSET |
| 19. <input checked="" type="checkbox"/> Existing Paved Areas | 45. <input checked="" type="checkbox"/> Property Area (Nearest |
| 20. <input checked="" type="checkbox"/> Existing Vegetation | 100 sq. ft.) |
| 21. <input checked="" type="checkbox"/> Existing Access & Egress | 46. <input checked="" type="checkbox"/> Building Coverage (sq. |
| | ft.) |
| <u>PROPOSED IMPROVEMENTS</u> | 47. <input checked="" type="checkbox"/> Building Coverage (% |
| 22. <input checked="" type="checkbox"/> Landscaping | of Total Area) |
| 23. <input checked="" type="checkbox"/> Exterior Lighting | 48. <input checked="" type="checkbox"/> Pavement Coverage (Sq. |
| 24. <input checked="" type="checkbox"/> Screening | Ft.) |
| 25. <input checked="" type="checkbox"/> Access & Egress | 49. <input checked="" type="checkbox"/> Pavement Coverage (% |
| 26. <input checked="" type="checkbox"/> Parking Areas | of Total Area) |
| 27. <input checked="" type="checkbox"/> Loading Areas | 50. <input checked="" type="checkbox"/> Open Space (Sq. Ft.) |
| 28. <input checked="" type="checkbox"/> Paving Details | 51. <input checked="" type="checkbox"/> Open Space (% of Total |
| (Items 25-27) | Area) |
| | 52. <input checked="" type="checkbox"/> No. of Parking Spaces |
| | Proposed. |
| | 53. <input checked="" type="checkbox"/> No. of Parking |
| | Required. |

This list is provided as a guide only and is for the convenience of the Applicant. The Town of New Windsor Planning Board may require additional notes or revisions prior to granting approval.

PREPARER'S ACKNOWLEDGEMENT:

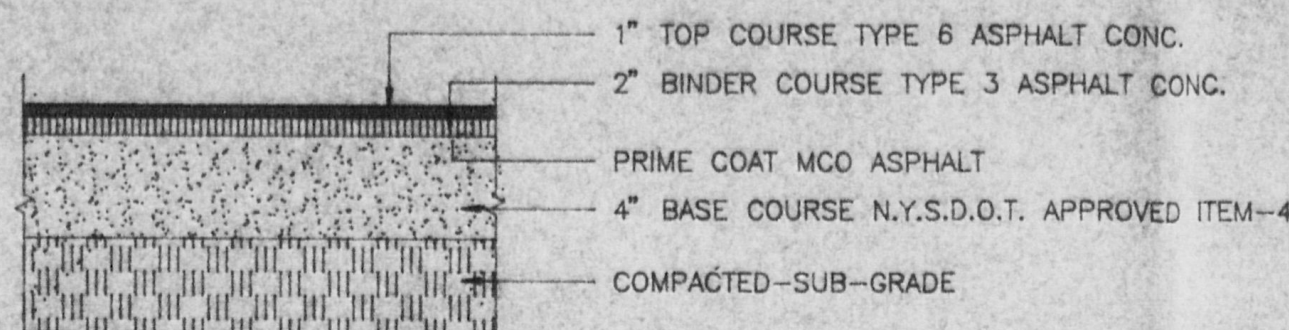
The Site Plan has been prepared in accordance with this checklist and the Town of New Windsor Ordinances, to the best of my knowledge.



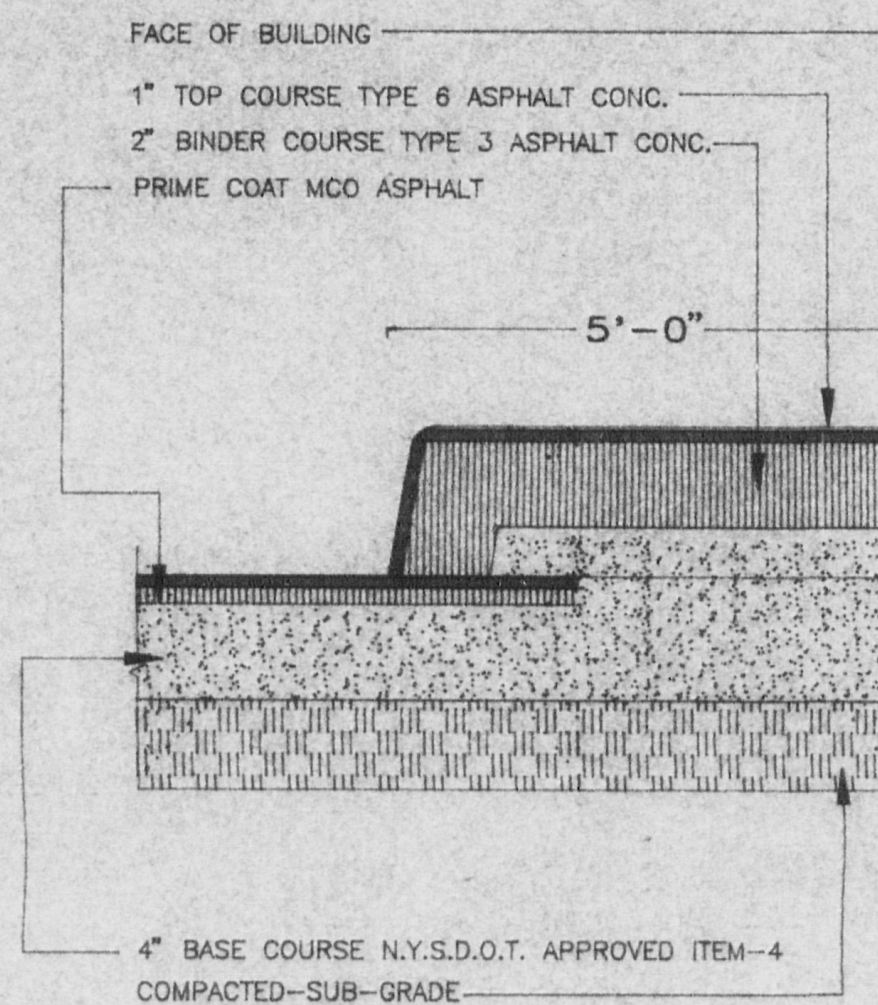
By: [Signature]
Licensed Professional

Date: July 14, 1992

MISC. DETAILS



2 ASPHALT CONCRETE PAVEMENT
L3.1 N.T.S.



3 ASPHALT CONCRETE PAVEMENT
L3.1 N.T.S.

GENERAL NOTES

- 1) ALL WORK SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE UNIFORM FIRE PROTECTION AND BUILDING CODE, THE TOWN OF NEW WINDSOR, AND ANY OTHER AUTHORITY HAVING JURISDICTION OVER THE WORK.
- 2) CONTRACTOR SHALL BE RESPONSIBLE FOR THE APPLICATION AND FILING OF ALL PERMITS REQ. TO PROCEED WITH THE WORK. NO WORK SHALL BEGIN UNTIL ALL FEES, AND PERMITS HAVE BEEN FILED AND APPROVED.
- 3) CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE LOCATIONS OF ALL UTILITIES EITHER ABOVE OR BELOW GROUND PRIOR TO THE START OF WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES RESULTING FROM HIS FAILURE TO EXACT THEIR PROPER LOCATION.
- 4) CONTRACTOR SHALL CONTACT CENTRAL HUDSON GAS AND ELECTRIC PRIOR TO START OF WORK.

DIGGING PROCEDURES

- 1) CONTRACTOR MUST HAVE ALL NECESSARY PERMITS IN ORDER AT LEAST 24 HOURS PRIOR TO ANY EXCAVATION TAKING PLACE.
- 2) CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION TO BOTH VEHICLES AND PERSONS. PROTECTION SHALL CONSIST OF BUT NOT BE LIMITED TO FLAGMEN, CONES, BARRICADES, OR OTHER MEANS AS MAY BE REQUIRED BY THE NATURE OF THE WORK.
- 3) INITIAL PAVEMENT OPENINGS SHALL BE BY SAWCUT.
- 4) ALL EXCAVATIONS DEEPER THAN 5'-0" SHALL BE PROPERLY SHORED, OR PROFILED SO AS TO BE IN CONFORMANCE WITH ALL O.S.H.A. REQUIREMENTS.

BACKFILLING PROCEDURES

- 1) NO BACKFILLING SHALL BE PERMITTED WITH OUT REQUIRED AND APPROVED INSPECTION. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING ALL INSPECTIONS.
- 2) NO EXCAVATED MATERIAL OR PAVEMENT, FROZEN, WET, CLAY, OR SPONGY MATERIALS SHALL BE USED AS BACKFILL.

ROADWAY REPLACEMENT

- 1) ALL PAVEMENT OPENINGS ARE TO BE SAWCUT AT LEAST 1'-0" FROM EDGE OF EXCAVATION SO AS TO FORM NEAT STRAIGHT LINES, AND SQUARE CORNERS PRIOR TO ANY BLACKTOP BEING REPLACED.
- 2) REPLACED OR NEW PAVEMENT SHALL IN NO CASE BE LESS THAN THAT INDICATED AS DETAILED ON DETAIL 2, THIS SHEET, AND AS SPECIFIED ON THE LAYOUT AND GRADING PLANS

HANDICAP ACCESS

- 1) ALL RENOVATION WORK, AND SITEWORK SHALL BE IN CONFORMANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE (A.N.S.I.) CODE SECTION A117.1. CODE CONFORMANCE ALLOW THE ACCESS OF ELDERLY, DISABLED, AND WHEELCHAIR BOUND PERSONS TO THE SITE AND BUILDING.
- 2) ALL RENOVATION WORK AND SITEWORK SHALL BE IN CONFORMANCE WITH THE AMERICANS WITH DISABILITIES ACT (A.D.A.).

ZONING

- 1) PROJECT SITE IS DESIGNATED AS A (NC) ZONE, NEIGHBORHOOD COMMERCIAL DISTRICT.
- 2) EXISTING AND PROPOSED USES ARE PERMITTED BY RIGHT, AS BUSINESS, PROFESSIONAL, MEDICAL OFFICES, USE A9, A15.
- 3) NO ACCESSORY USES WILL BE ON SITE.

BULK TABLE

REGULATION	REQUIRED	PROPOSED
MIN. LOT AREA	10,000	32,925
MIN. LOT WIDTH	100	105.38
REQ. FRONT YARD DEPTH	40	76
REQ. SIDE YARD/ TOTAL BOTH YARDS	15/35	28/62
REQUIRED REAR YARD DEPTH	15	104
REQUIRED STREET FRONTAGE	N/A	156.96
MAX. BUILDING HGT.	35	18'-6"
FLOOR AREA RATIO	100%	12%
MIN. LIVEABLE FLOOR AREA	N/A	N/A
DEVELOPEMENT COVERAGE	N/A	N/A
MINIMUM OFFSTREET PARKING REQ.		
A9 (OFFICE USE)	1/200 SF	1,180 NSF=6 SUBTOTAL=6
A15 (MEDICAL OFF. USE)	4/DOCTOR 1/EXAM ROOM	DR.#1=4 DR.#2=4 DR.#3=4 3 EXAM=3 SUBTOTAL=15 TOTAL #CARS=21
MIN. OFFSTREET LOADING BERTHS	1/10,000 SF	N/A
OPEN SPACE		29,095
OPEN SPACE AS % TOTAL AREA		88%
TOTAL BLDG. AREA		3,830
PAVEMENT COVERAGE		16002
SIGNAGE	EXISTING TO REMAIN	

MAYER ASSOCIATES

SITE PLAN APPROVAL PROJECT TEAM DATA

APPLICANT DATA:

MAYER ASSOCIATES
91 BLOOMING GROVE TURNPIKE
NEW WINDSOR, NY 12553
914.561.1505

CONTACT: MR. MIKE SCHWARTZ

PREPARERS DATA:

POMARICO DESIGN STUDIO
162 MONTGOMERY STREET
NEWBURGH, NY 12550
914.565.8468

CONTACT: MR. MICHAEL A. POMARICO
ARCHITECT

SURVEYOR DATA:

WASHBURN ASSOCIATES
44-52 ROUTE 9W
NEW WINDSOR, NY 12553
914.5614171

CONTACT: MR. RONALD WASHBURN
LAND SURVEYOR

LIST OF DRAWINGS

- L1.1 SITE PLAN INFORMATION SHEET
- L2.1 SITE DEMOLITION PLAN
- L3.1 LAYOUT AND LANDSCAPE PLAN
- L4.1 GRADING/EROSION CONTROL PLAN

SITE SURVEY(WASHBURN ASSOCIATES)

TOWN APPROVAL

SITE PLAN APPROVAL GRANTED
BY TOWN OF NEW WINDSOR PLANNING BOARD
ON 10/2/92
BY *James R. Peter, Jr.*
JAMES R. PETER, JR. SECRETARY
C. HANIKMAN

NO. DATE:
1 7/14/92

REVISION:
PER WORKSHOP MTG.

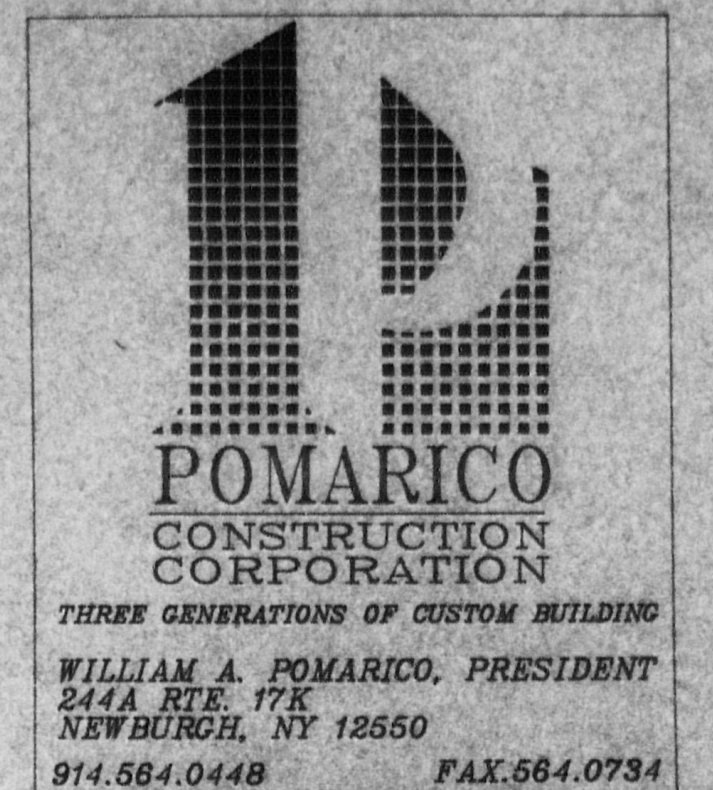
DRAWING TITLE

SITE
INFORMATION
SHEET

DATE:
SCALE:
APPROVED:
PROJECT NO:
DRAWING NO:

JUNE 28, 1992
N.T.S.
9209.00





L1.1

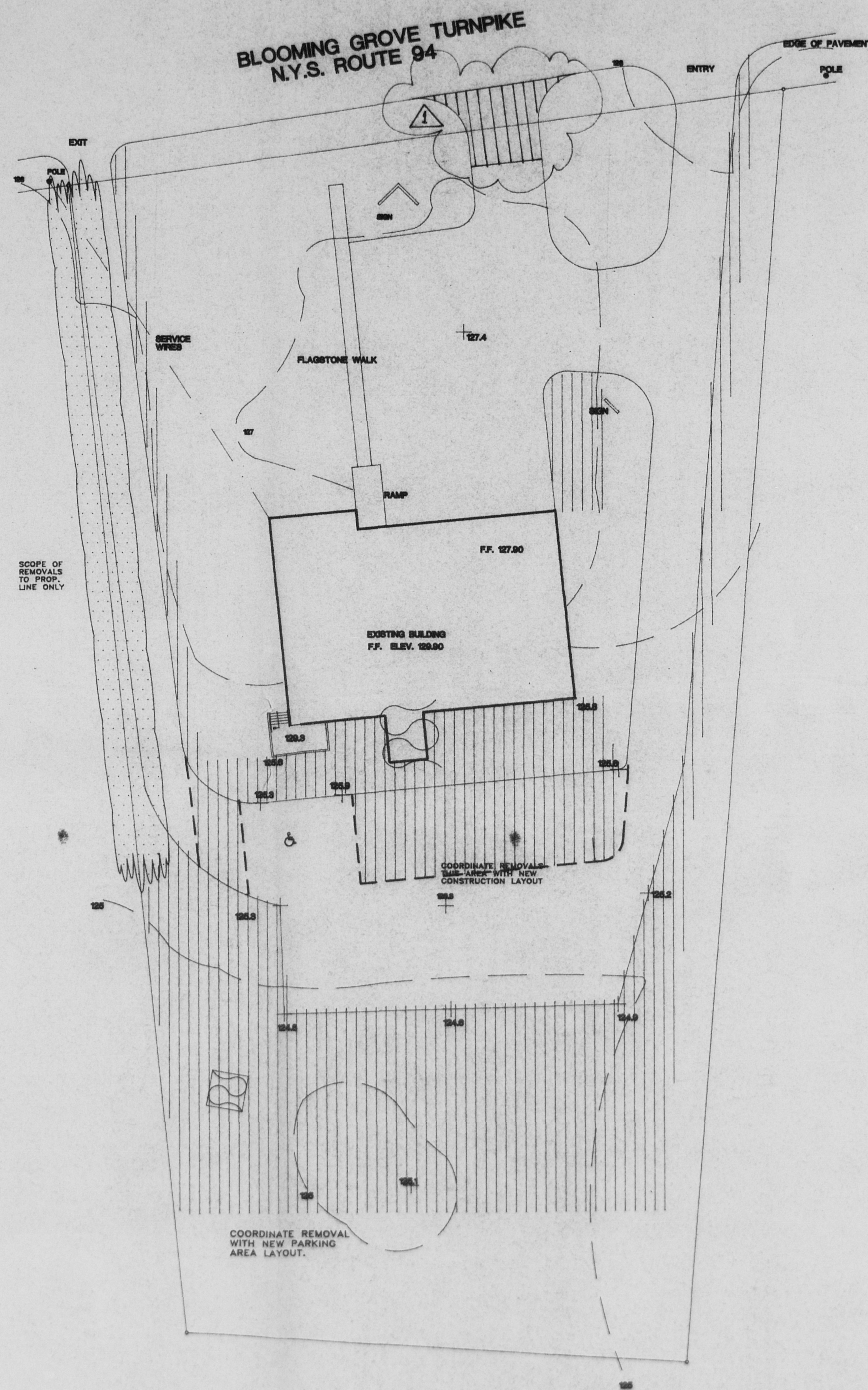


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PROFESSIONAL OFFICES
ADDITION AND RENOVATIONS
91 BLOOMING GROVE TPK.
NEW WINDSOR, NY 12553



DEMOLITION SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	REMOVE OBJECTS, STRUCTURES
	REMOVE SURFACE AREA AS REQUIRED FOR PROPOSED GRADING, EXCAVATION AND PREPERATION FOR NEW SURFACE
	CLEAN AND GRUB ALL EXISTING VEGETATION AND UNDER GROWTH
	LINE OF PAVEMENT SAWCUT



TOWN APPROVAL

SITE PLAN APPROVAL GRANTED
BY TOWN OF NEW WINDSOR PLANNING BOARD
ON _____

BY RONALD LANDER
SECRETARY

NO. DATE REVISION
1 9/2/92 PER NYSDOT

DRAWING TITLE
SITE DEMOLITION PLAN

DATE: JUNE 28, 1992
SCALE: 1/16"=1'-0"
APPROVED:
PROJECT NO: 9209.00
DRAWING NO:

L2.1



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UTILITY NOTE

1. Connect new addition to all existing electrical, sanitary , and water connections.

GENERAL LAYOUT NOTES:

1. Contractor shall visit the project site and familiarize himself with the existing conditions prior to commencing work. Any discrepancy between these drawings and actual site conditions shall be reported to the Architect immediately.
2. Contractor shall verify the locations of all utilities prior to commencing work.
3. Contractor is responsible for all necessary measures to prevent soil erosion and sedimentation, and shall comply with soil control notes as indicated on sheet L4.1.
4. Contractor is responsible to comply with all building codes and regulations governing the work.
5. Any layout of specified work to be adjusted in the field to meet actual site conditions shall be approved by the Architect prior to installing the work.
6. Survey prepared by Washburn Associates, New Windsor, NY.

GENERAL LANDSCAPE NOTES:

1. All plants and entire shrub beds to receive 3" layer of shredded hardwood bark mulch. Mulch all trees to a 3'-0" diameter, all shrubs to a perimeter 1'-0" beyond shrub mass.
2. Topsoil and seed all disturbed areas as a result of any and all construction or movement of equipment, weather areas are shown on plan or not. Contractor to field verify all areas of seeding.
3. Topsoil shall be free from all sub-soil, stones larger than 1", and debris.
4. Cut and remove burlap from the top 1/3 of all root balls.
5. Locate guy wires so that they shall not pull apart at the crotch of the tree.
6. Areas not directly related to the development shall remain in their natural state.
7. Seed shall be as follows:





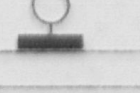

NAME OF GRASS	PROP. BY WEIGHT	MIN. GERM.	MIN. PURITY
PENLAWN FESCUE	60%	85%	95%
FYYLKG BLUEGRASS	30%	85%	85%
PER. RYE GRASS	10%	90%	95%

8. Landscape contractor allowed to introduce plant substitutions at Architects approval only.
9. Landscape contractor to install and guarantee all plantings in accordance with accepted industry standards.

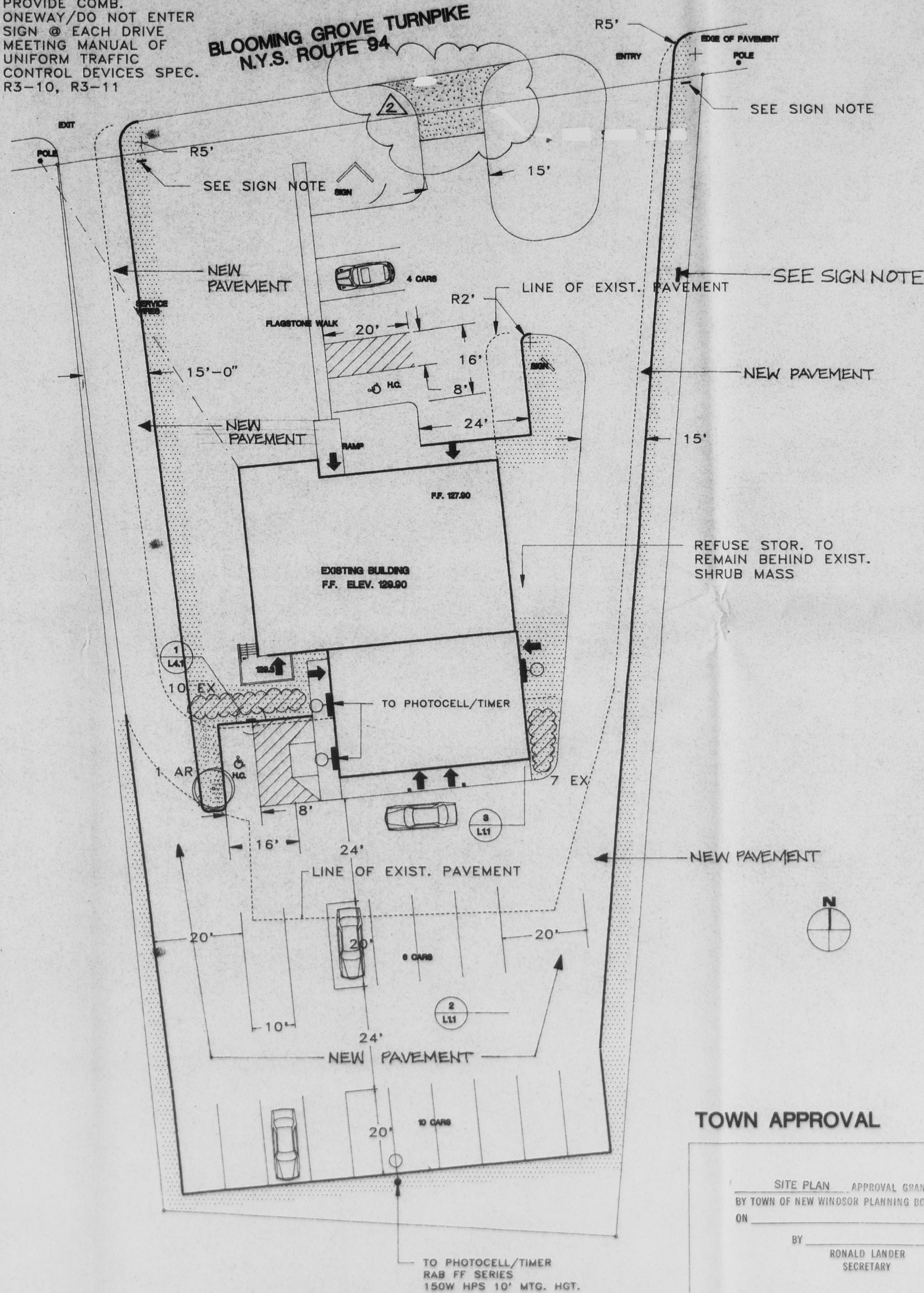
PLANTING SCHEDULE:

KEY/QUANTITY	BOTANICAL NAME	COMMON NAME	CAL.	HGT.	SPR.	RT.	SPC.	COMMENTS
AR 1	ACER RUBRUM	RED MAPLE	3"	15'	BB			SYM.,FULL HEADED
EX 15	EXISTING SHRUBS	TO BE RELOCATED						

SYMBOL LEGEND

SYMBOL	DESCRIPTION
	SHADE TREE
	SHRUB MASS
	PLANTED LAWN AREA
	POINT OF BUILDING ENTRY
	BUILDING MTD LIGHT
	MAST LIGHT @ PARKING AREA

SIGN NOTE:
PROVIDE COMB.
ONEWAY/DO NOT ENTER
SIGN @ EACH DRIVE
MEETING MANUAL OF
UNIFORM TRAFFIC
CONTROL DEVICES SPEC.
R3-10, R3-11



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ON _____
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SECRETARY

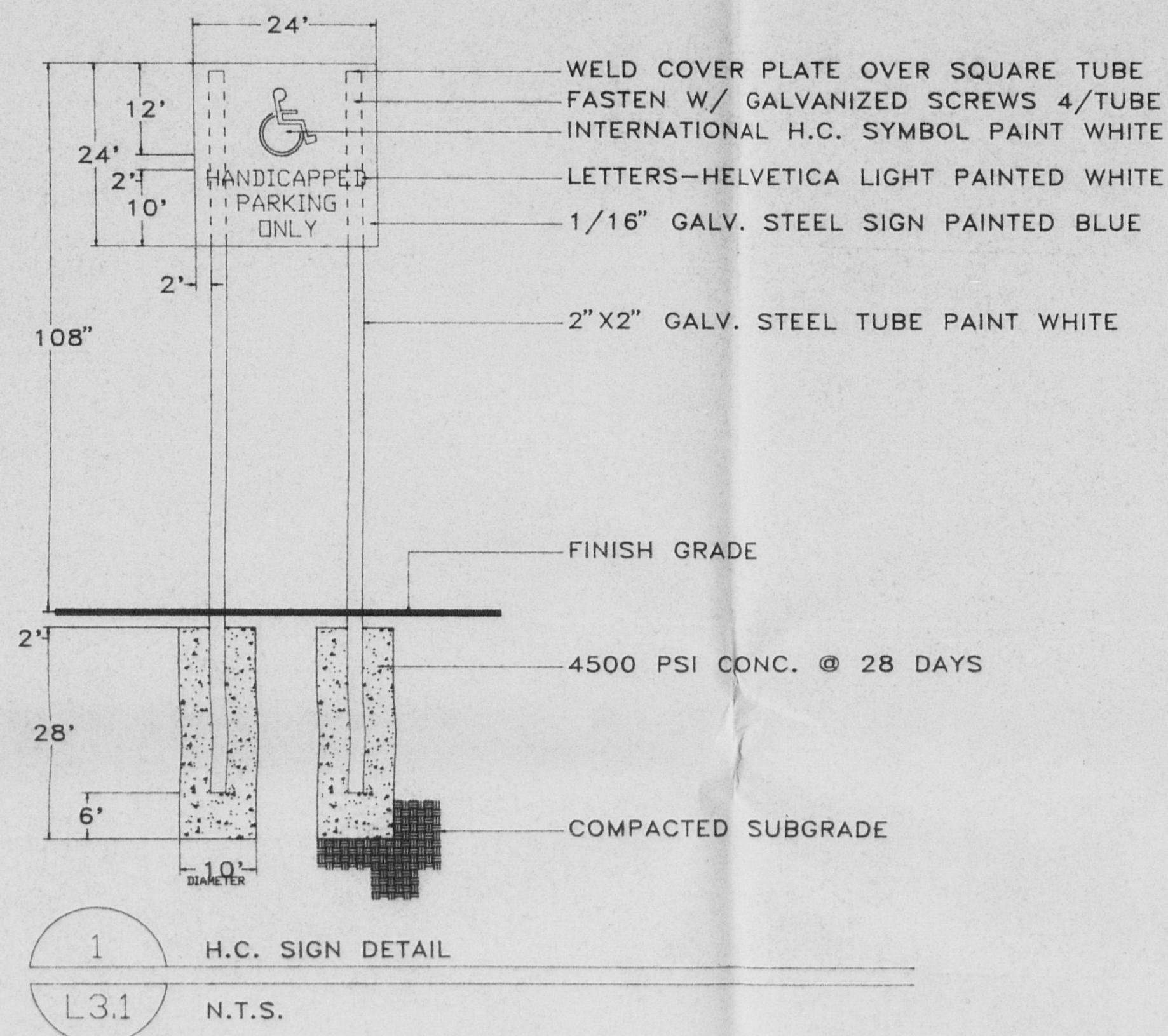
NO.	DATE	REVISION
1	7/14/92	PER WORKSHOP MTG.
2	9/2/92	PER MEET

DRAWING TITLE	LAYOUT LANDSCAPE PLAN
DATE	JUNE 26, 1992
SCALE	1/16"=1'-0"
APPROVED:	
PROJECT NO:	9209.00
DRAWING NO:	

L3.1

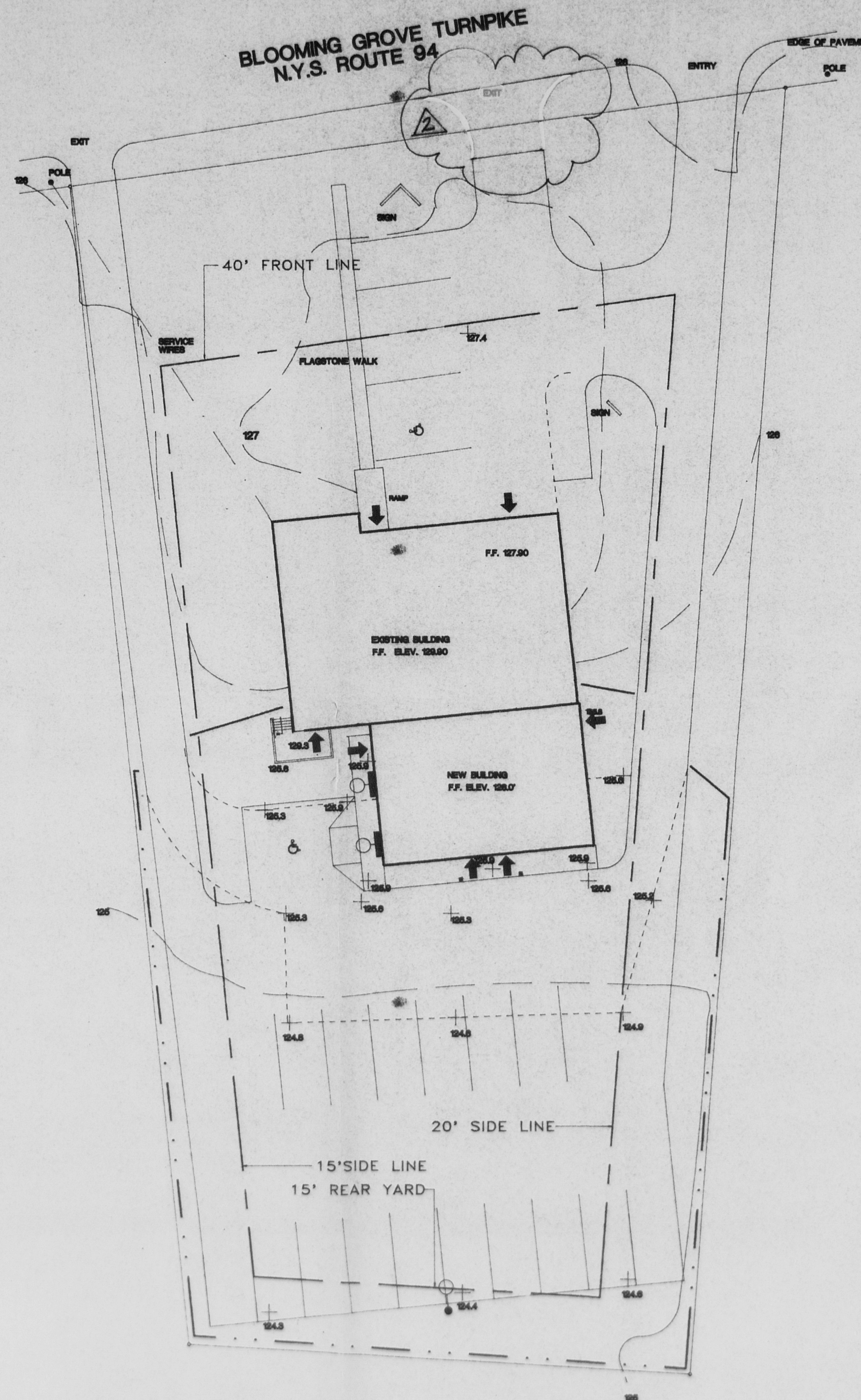
SOIL EROSION CONTROL NOTES:

1. Install silt fence as shown on plan prior to commencement of work.
2. Maintain silt fence integrity during entire construction process, until final grade and landscaping takes place.
3. Temporarily seed all disturbed areas, or stockpiles of soil designated for redistribution.



SYMBOL LEGEND

SYMBOL	DESCRIPTION
	NEW CONTOUR LINE
	SPOT ELEVATION
	SILT FENCE LINE
	BUILDING SETBACK LINE



TOWN APPROVAL

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ON _____
BY RONALD LANDER
SECRETARY

NO. DATE REVISION
1 7/14/92 PER WORKSHOP MTG.
2 8/1/92 PER N.T.S.D.T.

DRAWING TITLE
GRADING
EROSION CONTROL
PLAN

DATE: JUNE 26, 1992
SCALE: 1/16"=1'-0"
APPROVED: _____
PROJECT NO: 9209.00
DRAWING NO: _____

L4.1

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